

# Central Coast Campus

Preliminary Staging Report



12 September 2023

Central Coast Campus  
PRJ13728

The University of Newcastle



**The APP Group**

## DISTRIBUTION & AUTHORISATION RECORD

### Amendment Record

Revision	Description / Details	Date
Draft	Draft	31 August 2023
Draft	Final Draft	12 September 2023
01	Final for Issue	12 September 2023

### Authorisation Record

**Review by  
Assistant Project  
Manager**

*Bailey Trigg*

\_\_\_\_\_  
Name



\_\_\_\_\_  
Signature

*12/09/2023*

\_\_\_\_\_  
Date

**Approval by**

**Project Director**

*Simone O'Connor*

\_\_\_\_\_  
Name



\_\_\_\_\_  
Signature

*12/09/2023*

\_\_\_\_\_  
Date

Only the APP **Project Director** is authorised to approve amendments to this plan. The APP **Project Manager** is responsible for control, maintenance and issue of this plan, for disposal of any superseded documentation, and for informing other project participants of changes to the project plan in accordance with the APP procedure for **Project Planning**.

# Central Coast Campus – Preliminary Staging Plan

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## 1. Introduction

The University is proposing to establish a new health, innovation, and education campus in the heart of Gosford that will activate the Central Coast Education and Employment Precinct and catalyse ongoing revitalisation of the Gosford CBD.

By expanding its presence on the Central Coast, the University will play a pivotal role in transforming Gosford into a thriving university-city at the heart of the region. The University's presence will help close skills gaps, increase educational participation rates, generate new jobs, support emerging industries, develop the health services workforce, and foster innovation and entrepreneurship. The University's strong commitment to equity and Indigenous education will underpin success in Gosford.

The land for the proposed academic facility at 305 Mann Street Gosford (the former Mitre 10 site), is one of the key sites identified within recent NSW Government planning frameworks. The proposed mixed-use Campus on the site will set a high-quality benchmark for further revitalisation projects throughout the city and be required to

The University of Newcastle's organisational objectives will be realised through Hansen Yuncken's (Principal Contractor) considered and comprehensive methodology for delivering the new Central Coast Campus (UON CCC) project through design, construction, and completion/ handover. The project methodology has been broken into the following sub-sections:

- ▶ Design Management
- ▶ Construction Management
- ▶ Environmental Management
- ▶ Construction Pedestal and Traffic Management
- ▶ Communication and Consultation
- ▶ Program Management
- ▶ Risk Management

The Project's SSD Compliance path is to be via a staged Construction Certificate approach.

This Preliminary Staging Report has been compiled following the Approval of SSD-47749715 and prior to the commencement of any works on site.

## 1.1. Site Plan

The below indicates the general Site arrangement, this outlines the vehicle access points, site facilities, crange and pumping pads and traffic control provisions.

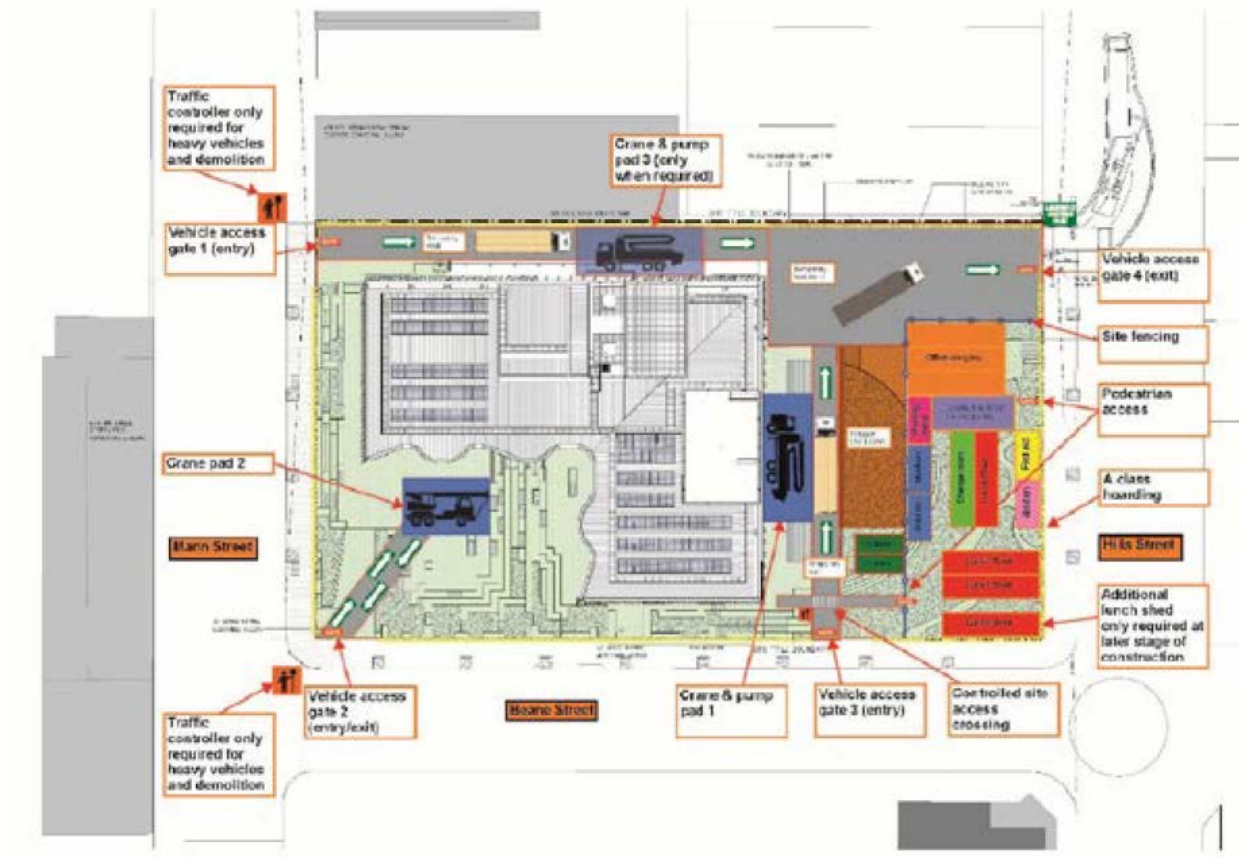
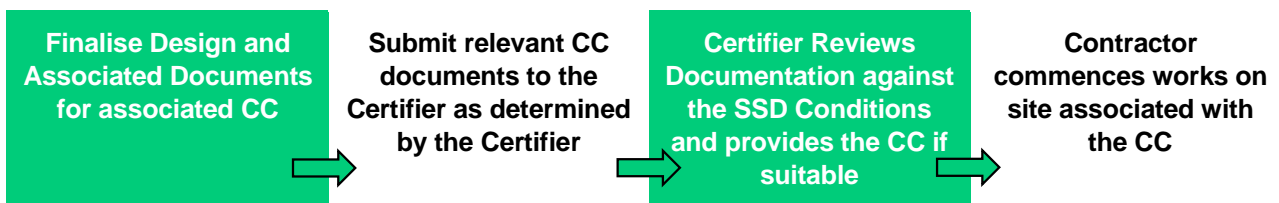


Figure 1: Site Establishment Overview

## 2. Staged Construction Certificates

The below Construction Certificate (CC) Staging methodology has been determined following review of the required design packages and the duration of the associated works packages. This aims to ensure appropriate design work and the required documentation is prepared in advance of submitting and commencing works under a particular CC. The process for each CC is as follows:



## 2.1. Construction Certificate 1 – Demolition and Site Setup

The specific scope of CC1 includes:

- ▶ Architectural Demolition
- ▶ Civil Demolition and Erosion control

The Documentation anticipated to be required for this package will be completed and submitted to the Certifier mid-October 2023. The required documentation will be produced by the Principal and it's consultant team, as well as inputs from the Contractor. Works under CC1 are anticipated to occur between late-November 2023 and late-December 2023 and are summarised as follows:

- ▶ Installation of site WHS and Environmental controls
- ▶ Sediment Management per design documents
- ▶ Demolition of existing buildings and hardstand;

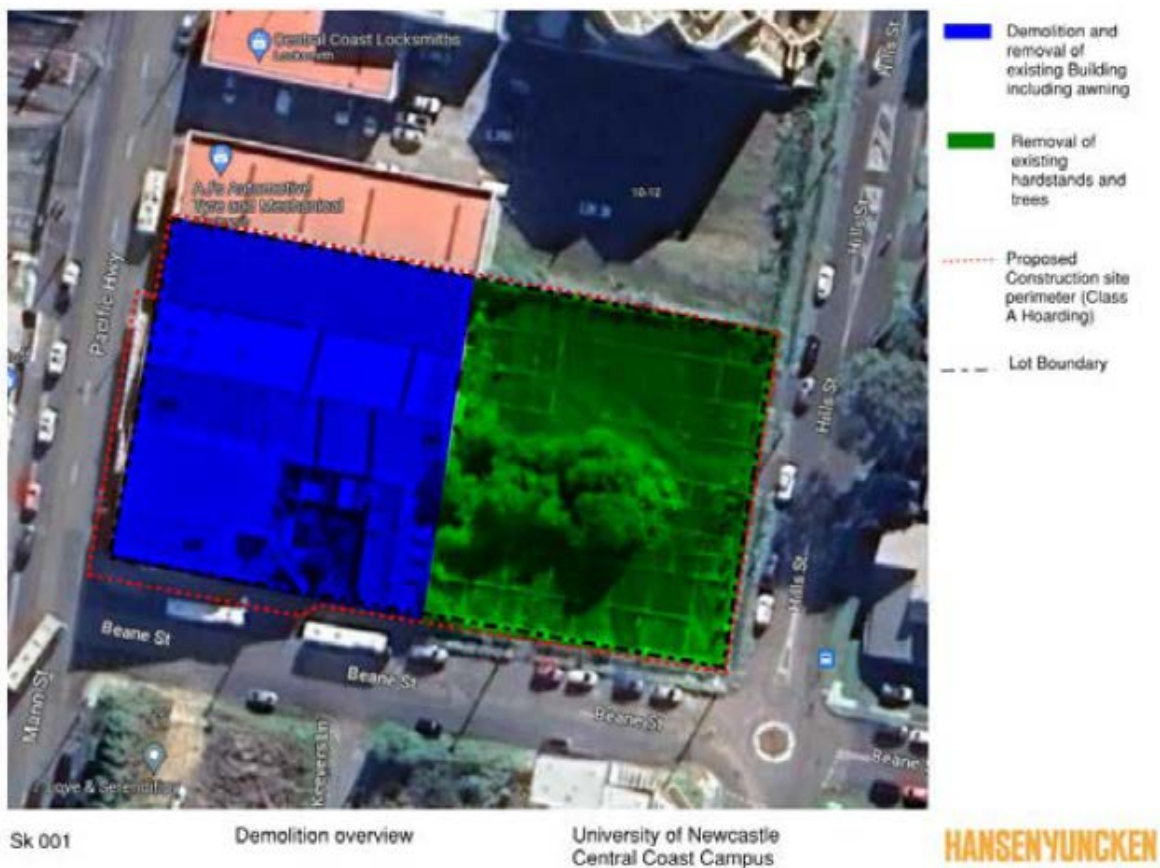


Figure 2: Construction Certificate 1 Overview

## 2.2. Construction Certificate 2 – Earthworks, Piling and Services

The Specific scope of CC2 includes:

- ▶ Bulk Earthworks
- ▶ Detailed Earthworks
- ▶ Groundwater and Archaeological Management
- ▶ Services Connections
- ▶ Piling Substructure only
- ▶ Sewer Diversion

The Documentation anticipated to be required for this package will be completed and submitted to the Certifier in December 2023. The required documentation will be produced by the Contractor and the novated design team. Works under CC2 are anticipated to occur between late December 2023 and late April 2024 and are summarised as follows:

- ▶ Earthworks to prepare site and basement;
- ▶ Temporary works;
- ▶ Excavation and foundation preparation;
- ▶ Piling;
- ▶ Sewer Diversion

### Ground Works Overview

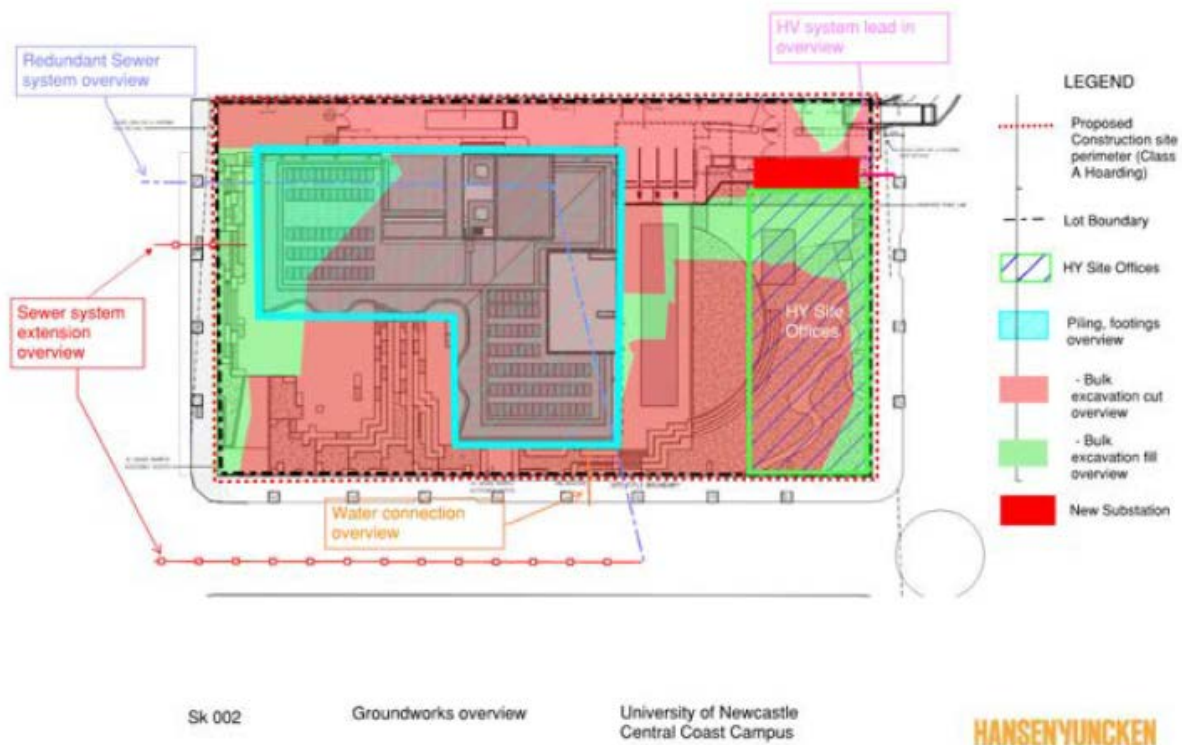


Figure 3: Construction Certificate 2 Overview

### 2.3. Construction Certificate 3 – Structure

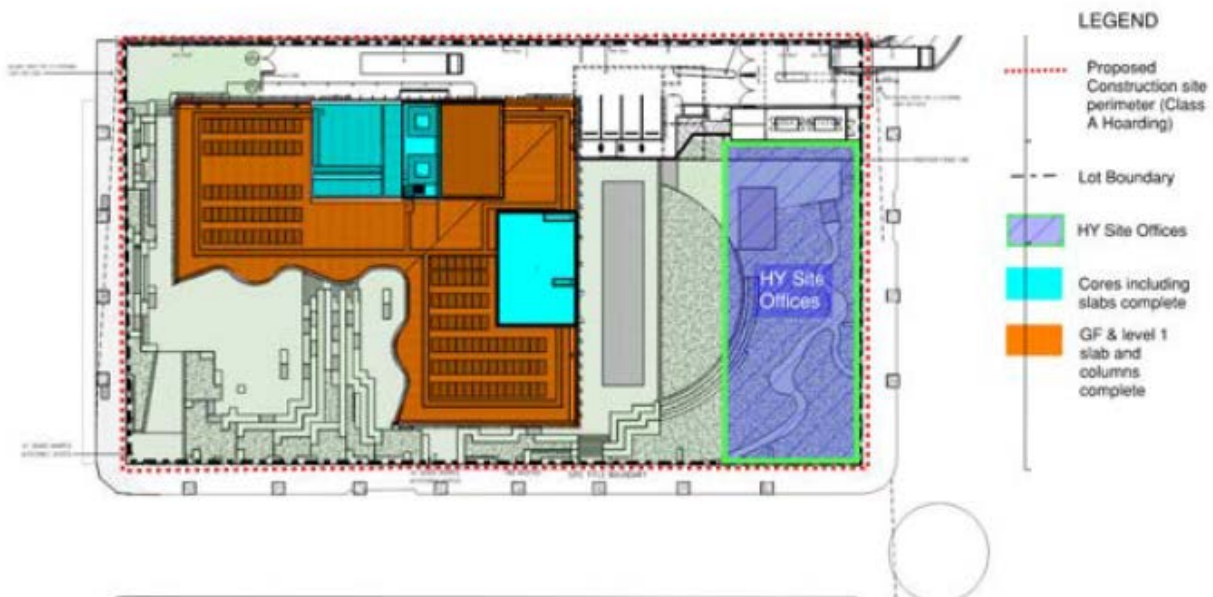
The specific scope of CC3 includes:

- ▶ Substructure including footings, basement etc.
- ▶ Superstructure including services.

CC3 entails the design finalisation of the civil, in-ground services for the building (NBN, University private communications and data, electrical, hydraulic connections, etc.), and structure packages (building core and mass timber).

The Documentation anticipated to be required for this package will be completed and submitted to the Certifier in mid-January 2024. The required documentation will be produced by the Contractor and the novated design team. Works under CC3 are anticipated to occur between late April 2024 and late December 2024 and are summarised as follows:

- ▶ Inground services;
- ▶ Reinforced concrete foundations;
- ▶ Concrete core structure(s);
- ▶ Glulam and cross laminated timber (CLT) structure;



Sk 003

Concrete Structure overview

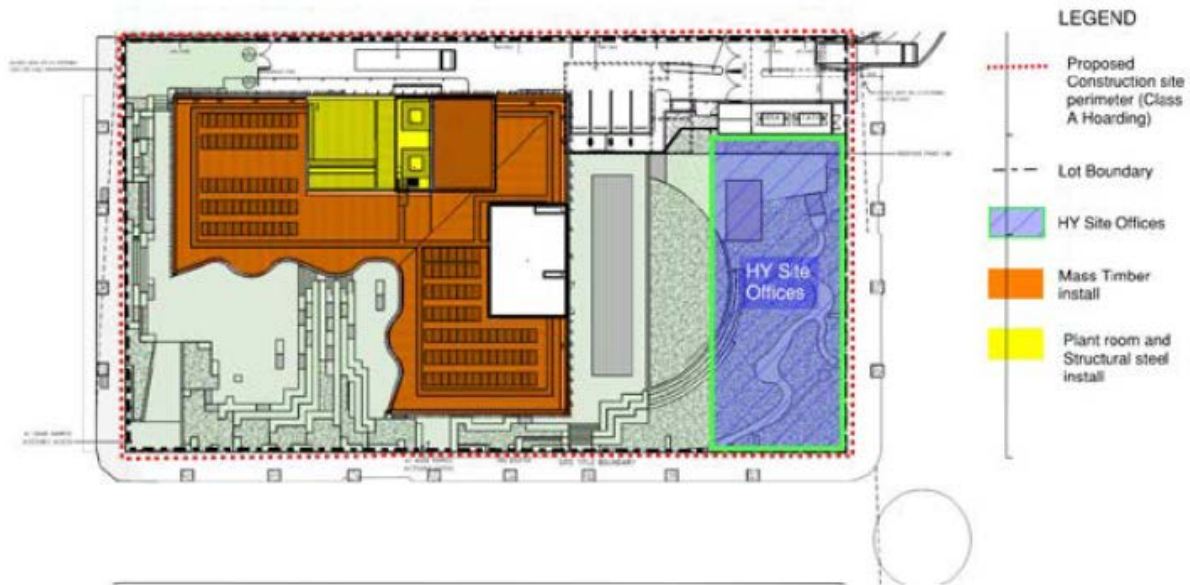
University of Newcastle  
Central Coast Campus

HANSEN YUNCKEN

Figure 4: Construction Certificate 3 Concrete Cores Overview



## Mass Timber / Structural Steel / Plant Deck Overview



Sk 004

Mass Timber / Structural Steel  
& Plant Deck Structure  
overview

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Figure 5: Construction Certificate 3 Timber Overview

## 2.4. Construction Certificate 4 – Façade and Finishes

The specific scope of CC4 includes:

- ▶ Façade
- ▶ Internal fit out
- ▶ Services fit off and commissioning

The Documentation anticipated to be required for this package will be completed and submitted to the Certifier in late-February 2024. The required documentation will be produced by the Contractor and the novated design team. Works under CC4 are anticipated to occur between late December 2024 and late April 2025 and are summarised as follows:

- ▶ Façade – including glazing and cladding;
- ▶ Fit-out – including public areas, teaching spaces, common spaces, workspaces and offices;
- ▶ Building services including mechanical, electrical, hydraulic and vertical transport;
- ▶ Security;
- ▶ Technology;
- ▶ FF&E.

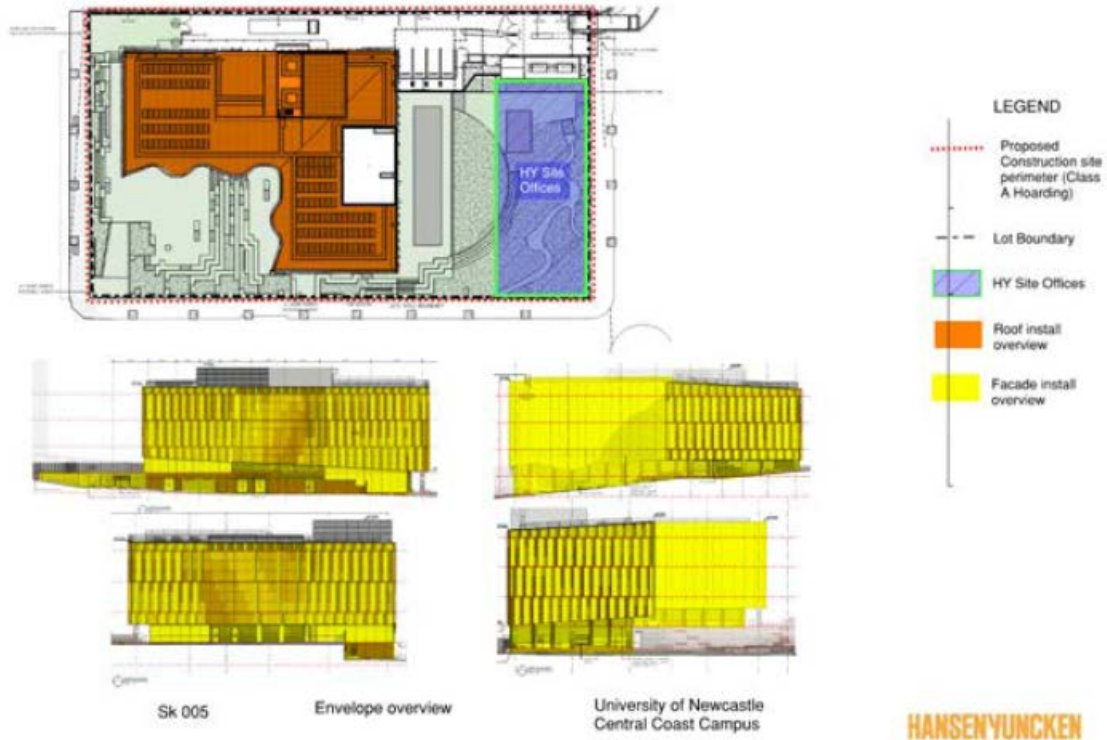


Figure 6: Construction Certificate 4 Overview

## 2.5. Construction Certificate 5 – Final Items

The specific scope of CC5 will primarily include the remaining external works that have not been captured in the previous CC approvals. This will include:

- ▶ Landscaping works
- ▶ Internal footpaths and verges
- ▶ Public domain works as required (subject to the receipt of additional Council approvals)

The Documentation anticipated to be required for this package will be completed and submitted to the Certifier in April 2024. The required documentation will be produced by the Contractor and the novated design team. Works under CC5 are anticipated to occur between late November 2024 and late April 2025.

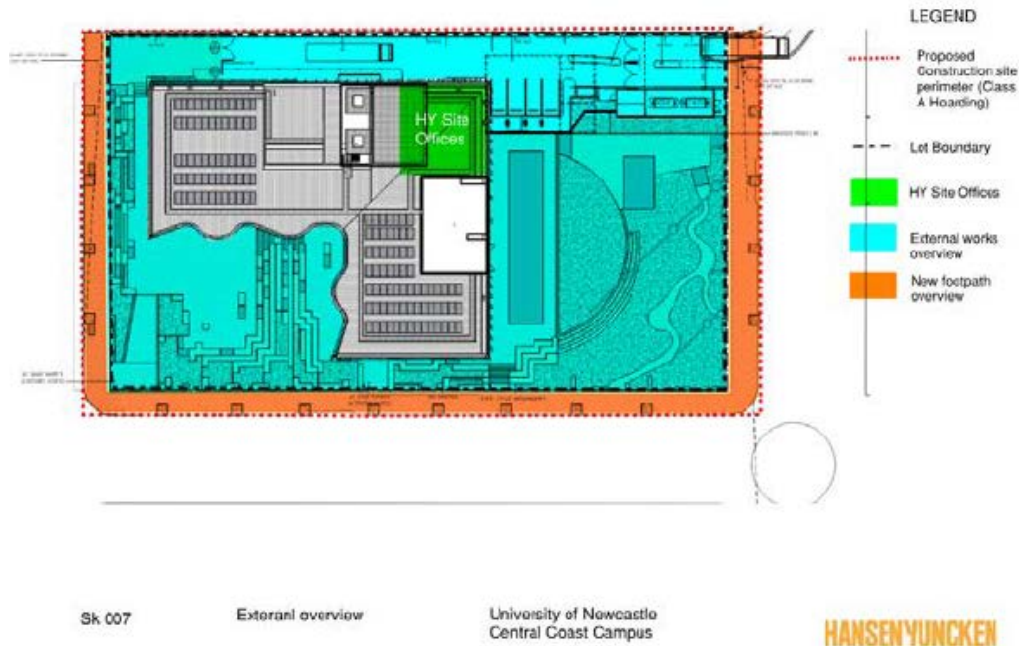


Figure 8: Construction Certificate 5 External Works Overview

### 3. Operation

The staged Construction Certificate approach does not consider operation by the principal during each CC stage of works. The University does not anticipate requiring access to the site until Post Construction. If there is need to have University staff or other contractors on the site prior to construction completion, they are to be inducted and under the management of the Head Contractor (Hansen Yuncken). A staged operation approach is not required.

### 4. Construction Risk Management

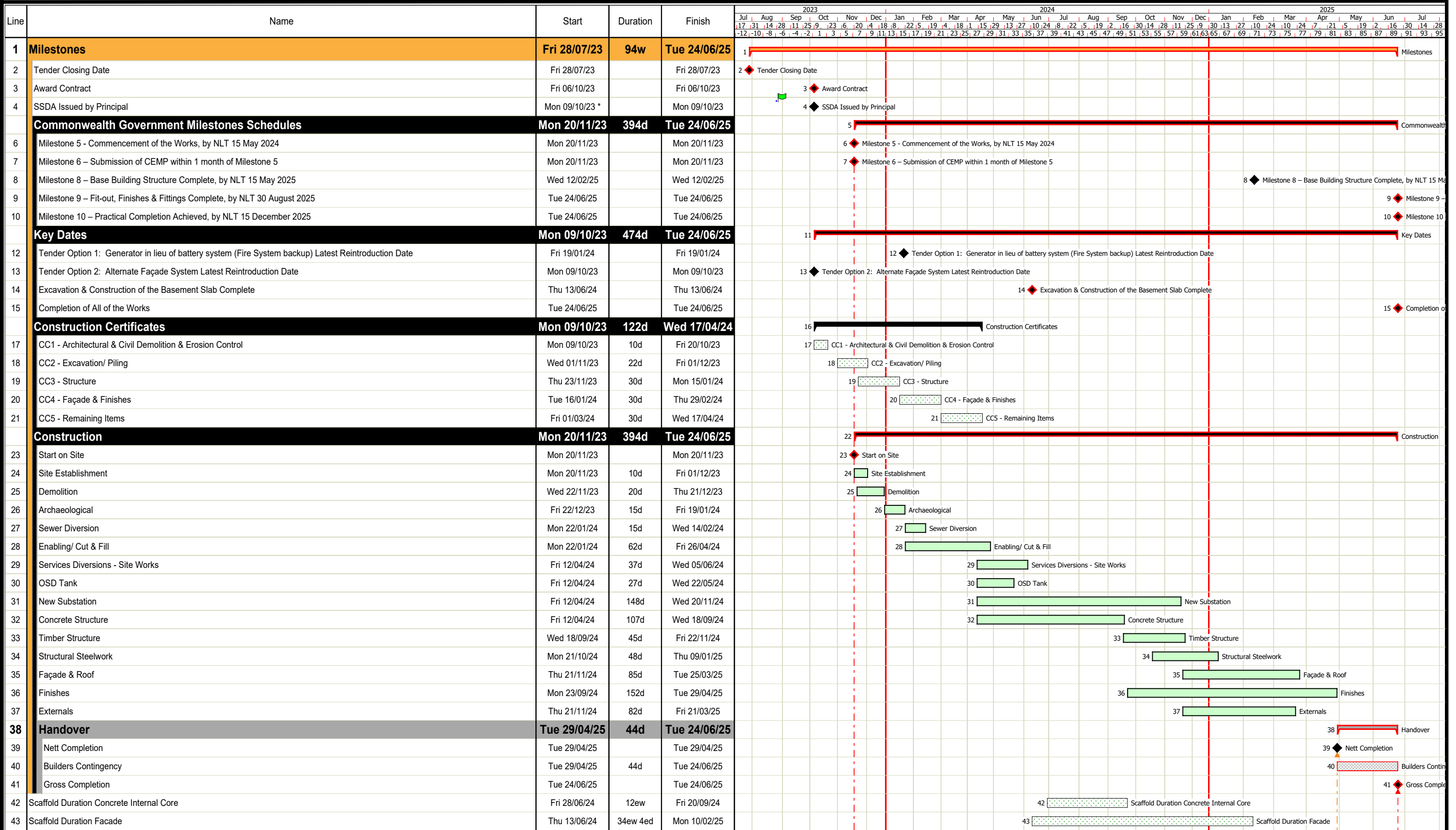
The Project proposes a staged Construction Certificate approach in order to de-risk and increase program efficiency. Common risks such as the design not being appropriately progressed, and authority approvals not being received in time for a single construction certificate are removed. The current approach allows flexibility, where an element of the work is not yet adequately designed or approved by an authority it can likely be shifted into a preceding Construction Certificate in order to maintain the program of works.

### 5. Conclusion

The Central Coast Campus Development will be constructed generally in-line with the abovementioned Construction Certificate staged approach. There will be no staged occupation approach considered as part of the Staging Plan. The proposed stages will allow the works to be delivered in the most timely and efficient manner and minimise its impact on the community and ensure ample time is provided for the finalisation of the design prior to commencing each relevant stage of construction.

# Appendix 1 – Contractor’s Design and Construct Program





<b>Hansen Yuncken</b> Sydney Corporate Park Building 1, Level 3 75-85 O'Riordan Street Alexandria NSW 2015	<b>Programme Status:</b> Details of Revision Start on Site revised to 17 Nov 2023	<b>Programme No:</b> TEN002 <b>View:</b> Bar Chart View <b>Filter:</b> None	<b>Issue Date:</b> 22/08/2023 <b>Revision:</b> 02 <b>Author:</b> Craig Lee
	<b>Rev Date:</b> 22/08/2023		<b>Pages:</b> 1 of 9

Line	Name	Start	Duration	Finish	2023 2024 2025																																			
					Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun
<b>44</b>	<b>Main Contractor Appointment</b>	<b>Fri 28/07/23</b>	<b>47d</b>	<b>Fri 06/10/23</b>	Main Contractor Appointment																																			
45	Tender Close	Fri 28/07/23 *		Fri 28/07/23	Tender Close																																			
46	Tender Assessment	Fri 28/07/23	47d	Fri 06/10/23	Tender Assessment																																			
47	Award Contract	Fri 06/10/23		Fri 06/10/23	Award Contract																																			
<b>48</b>	<b>Management Plans</b>	<b>Fri 06/10/23</b>	<b>69d</b>	<b>Mon 29/01/24</b>	Management Plans																																			
49	Prepare & Submit Management Plans	Fri 06/10/23	14ed	Fri 20/10/23	Prepare & Submit Management Plans																																			
50	Workplace Relations Management Plan	Mon 23/10/23		Mon 23/10/23	Workplace Relations Management Plan																																			
51	Submit WHS Plan	Mon 20/11/23		Mon 20/11/23	Submit WHS Plan																																			
52	Submit Quality Plan	Mon 20/11/23		Mon 20/11/23	Submit Quality Plan																																			
53	Submit EMP Plan	Mon 20/11/23		Mon 20/11/23	Submit EMP Plan																																			
54	Submit Aboriginal Participation Plan	Wed 06/12/23		Wed 06/12/23	Submit Aboriginal Participation Plan																																			
55	Submit Draft Aboriginal Participation Plan Report	Wed 06/12/23		Wed 06/12/23	Submit Draft Aboriginal Participation Plan Report																																			
56	Submit Draft Aboriginal Participation Plan Progress Report	Mon 29/01/24		Mon 29/01/24	Submit Draft Aboriginal Participation Plan Progress Report																																			
<b>57</b>	<b>Design Finalisation</b>	<b>Fri 06/10/23</b>	<b>85d</b>	<b>Tue 20/02/24</b>	Design Finalisation																																			
<b>Meetings</b>					<b>Fri 06/10/23</b>					<b>79d</b>					<b>Tue 13/02/24</b>																									
59	Design Team Meetings (Weekly)	Mon 09/10/23		Tue 13/02/24	Design Team Meeting No 11																																			
60	Budget Meetings (Monthly)	Thu 09/11/23		Thu 11/01/24	Budget Meeting 3																																			
61	FF&E Working Group	Fri 06/10/23		Fri 15/12/23	FF&E Working Group Meeting 3 - New General Teaching & Learning Precinct																																			
62	Project Stakeholder Meetings	Fri 06/10/23		Fri 15/12/23	Project Stakeholder Meeting 6																																			
63	Fortnightly Design Arcg Services	Mon 09/10/23		Wed 06/12/23	Fortnightly Design Arcg Services																																			
64	Value Management Workshop	Mon 09/10/23		Fri 19/01/24	Value Management Workshop																																			
65	Risk Management Workshops	Mon 09/10/23		Thu 09/11/23	Risk Management Workshop 2																																			
66	Safety In Design Workshops	Mon 16/10/23		Tue 30/01/24	Safety In Design Workshop 2																																			
<b>Design</b>					<b>Mon 09/10/23</b>					<b>85d</b>					<b>Tue 20/02/24</b>																									
68	Design & Documentation Issued to The Contractor	Mon 09/10/23		Mon 09/10/23	Design & Documentation Issued to The Contractor																																			
<b>69</b>	<b>Detail Design Development (80-100% Complete Documentation)</b>	<b>Mon 09/10/23</b>	<b>85d</b>	<b>Tue 20/02/24</b>	Detail Design Development (80-100% Complete Documentation)																																			
<b>70</b>	<b>80-100% Complete Documentation</b>	<b>Mon 09/10/23</b>	<b>65d</b>	<b>Fri 19/01/24</b>	80-100% Complete Documentation																																			
71	80-100% AFC Architectural Works	Mon 09/10/23	65d	Thu 18/01/24	80-100% AFC Architectural Works																																			
72	80-100% AFC Structural Works	Mon 09/10/23	65d	Thu 18/01/24	80-100% AFC Structural Works																																			
73	80-100% AFC Civil Works	Mon 09/10/23	65d	Thu 18/01/24	80-100% AFC Civil Works																																			
74	80-100% AFC Building Services	Mon 09/10/23	65d	Thu 18/01/24	80-100% AFC Building Services																																			
75	80-100% AFC Landscape Works	Mon 09/10/23	65d	Thu 18/01/24	80-100% AFC Landscape Works																																			
76	Submit Structural Engineering Design & Documentation	Fri 19/01/24		Fri 19/01/24	Submit Structural Engineering Design & Documentation																																			
<b>77</b>	<b>Detail Design Development (80-100% Complete Documentation) Review &amp; Approval</b>	<b>Fri 19/01/24</b>	<b>20d</b>	<b>Tue 20/02/24</b>	Detail Design Development (80-100% Complete Documentation) Review & Approval																																			
78	80-100% Complete Documentation Submitted	Fri 19/01/24		Fri 19/01/24	80-100% Complete Documentation Submitted																																			
79	80-100% Complete Documentation Review	Fri 19/01/24	20d	Tue 20/02/24	80-100% Complete Documentation Review																																			
80	Design Complete	Tue 20/02/24		Tue 20/02/24	Design Complete																																			
<b>81</b>	<b>Specialist Reports (BCA)</b>	<b>Mon 09/10/23</b>	<b>20d</b>	<b>Fri 03/11/23</b>	Specialist Reports (BCA)																																			
82	BCA Compliance Review	Mon 09/10/23	10d	Fri 20/10/23	BCA Compliance Review																																			
83	BCA Non Compliance Report	Mon 23/10/23	10d	Fri 03/11/23	BCA Non Compliance Report																																			
<b>84</b>	<b>Fire Engineering</b>	<b>Tue 07/11/23</b>	<b>30d</b>	<b>Wed 20/12/23</b>	Fire Engineering																																			
85	Preparation & Submission of FEBQ	Tue 07/11/23	5d	Mon 13/11/23	Preparation & Submission of FEBQ																																			
86	FEBQ Assessment & Approval	Tue 14/11/23	15d	Wed 06/12/23	FEBQ Assessment & Approval																																			

<b>Hansen Yuncken</b> Sydney Corporate Park Building 1, Level 3 75-85 O'Riordan Street Alexandria NSW 2015	<b>Programme Status:</b> Details of Revision Start on Site revised to 17 Nov 2023	<b>Programme No:</b> TEN002 <b>View:</b> Bar Chart View <b>Filter:</b> None	<b>Issue Date:</b> 22/08/2023 <b>Revision:</b> 02 <b>Author:</b> Craig Lee
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